
TOWNE & COUNTRY

— PROPERTY INSPECTIONS —

Towne & Country Property Inspections

4240 Portsmouth Blvd. Suite 425

Chesapeake, VA 23321

(757) 773-2283

townecountryinspectors.com

ekittrell13@gmail.com

Inspected By: Evan Kittrell - Lic# 3380001104



Home Inspection Report

Prepared For:

Timothy Cline

Property Address:

4118 Eastham Rd

Virginia Beach, VA 23453

Inspected on Mon, Mar 18 2019 at 10:46 AM

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General

A home inspection is primarily visible and done in a limited time. Not every defect will be discovered. For further clarification of the components, procedures and limitations of the home inspection consult the Standard of Practice the inspection was performed under.

Occupied:	No
Furnished:	No
Weather:	Sunny
Temperature:	Cool
Soil Condition:	Damp
Door Faces:	South
People Present:	Client, Selling Agent

Exterior

The visible condition of exterior coverings, trim, entrances and drainage are inspected with respect to their effect on the condition of the building.

Exterior Covering:	Vinyl
Exterior Trim Material:	Vinyl, Aluminum
Walking Surface Types:	Walks
Walking Surface Materials:	Concrete
Chimney Type:	Wood Framed



Comment 1:

Siding missing at chimney. Repair is recommended by a qualified vinyl siding contractor.

(Exterior continued)



Figure 1-1



Comment 2:
Exterior pictures .



Figure 2-1



Figure 2-2

(Exterior continued)



Figure 2-3



Figure 2-4



Figure 2-5



Figure 2-6

(Exterior continued)



Figure 2-7



Figure 2-8



Comment 3:

Loose vinyl siding, bottom row, front & back of house, repair is recommended by a qualified vinyl siding contractor.



Figure 3-1



Figure 3-2

(Exterior continued)



Comment 4:

Damaged wood trim at front of house, gable vent. Repair is recommended by a qualified handyman



Figure 4-1



Comment 5:

Damaged screen at front door. Replacement is recommended by a qualified handyman.



Figure 5-1

(Exterior continued)



Comment 6:

Damaged vinyl siding at left side of garage door, replacement is recommended by a qualified vinyl siding contractor.



Figure 6-1



Comment 7:

Damage to gate at left side of house. Repair is recommended that a qualified handyman.



Figure 7-1

(Exterior continued)


-
-  **Comment 8:**
Dryer vent clogged, cleaning and vacuuming is recommended by a qualified handyman.



Figure 8-1


-
-  **Comment 9:**
Loose fence panels at back of property, repair is recommended by a qualified handyman.



Figure 9-1

(Exterior continued)



Comment 10:
Shed pictures.



Figure 10-1



Figure 10-2




Figure 10-3



Figure 10-4

(Exterior continued)

-
-  **Comment 11:**
Shed doors do not shut properly here. Repair is recommended by a qualified handyman.

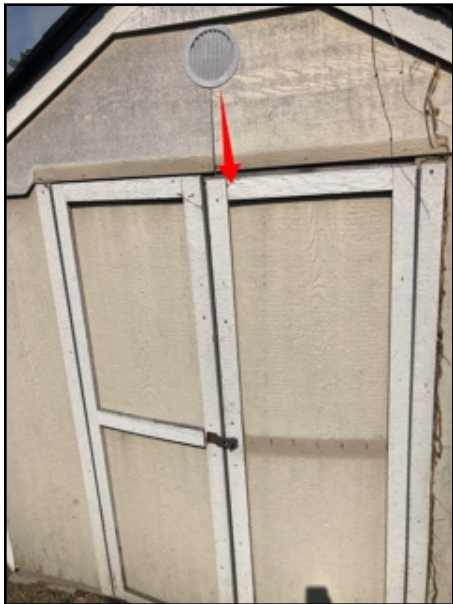


Figure 11-1


-
-  **Comment 12:**
Damaged window screens at front & back of house, repair is recommended by a qualified handyman.



Figure 12-1

(Exterior continued)


 **Comment 13:**
Gutters not installed on house, installation of gutters at left and right side is recommended by a qualified gutter installer.



Figure 13-1

Garage

Outbuildings and detached garages are not defined in the Standards of Practice. This is only a cursory check of the listed elements. Electrical, plumbing and HVAC comments are recorded in their respective sections of the report.

Garage Type:	Attached
Vehicle Door Type:	Overhead
Mechanical Opener:	No
Plumbing Present:	No
HVAC Present:	No

(Garage continued)



Comment 14:
Garage .



Figure 14-1



Figure 14-2



Figure 14-3



Figure 14-4

(Garage continued)



Comment 15:

Damage drywall at garage, repair/replacement is recommended by a qualified drywall contractor.



Figure 15-1

Roofing

The visible condition of the roof covering, flashings, skylights, chimneys and roof penetrations are inspected. The purpose of the inspection is to determine general condition, NOT to determine life expectancy.

Inspection Method:	Drone
Roofing Material:	Architectural
Ventilation Present:	Roof, Ridge Vent
Gutter Material:	Not Present

(Roofing continued)



Comment 16:
Roofing pictures.



Figure 16-1



Figure 16-2



Figure 16-3



Figure 16-4

(Roofing continued)

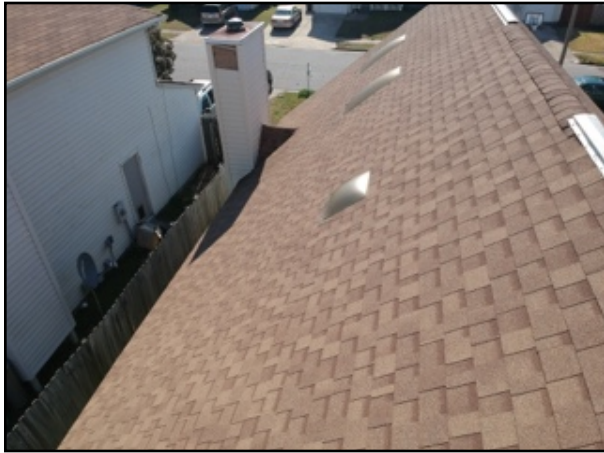


Figure 16-5



Figure 16-6



Figure 16-7



Figure 16-8



Figure 16-9



Figure 16-10

(Roofing continued)



Figure 16-11



Comment 17:

Plastic lens covering skylight is cracked, loft skylight. Replacement is recommended by a qualified roofing contractor.

Small crack in skylight, middle of room of living room. Repair is recommended by a qualified roofing contractor.



Figure 17-1



Figure 17-2

Structure

The visible condition of the structural components is inspected. The determination of adequacy of structural components is beyond the scope of a home inspection.

Foundation Types:	Slab
Foundation Materials:	Concrete
Floor Structure:	Slab
Wall Structure:	Concrete

Attic

Ceiling Structure:	Wood Framed
Roof Structure:	Wood Framed
Inspection Method:	Inside
Attic Insulation:	Loose Fill, Batts



Comment 18:

Missing insulation at interior walls facing attic. Replacement of missing insulation is recommended by a qualified insulation contractor.

Pest feces at attic. Pest treatment is recommended by a qualified termite and pest contractor.



Figure 18-1



Figure 18-2

(Attic continued)



Figure 18-3



Figure 18-4



Figure 18-5



Figure 18-6

Electrical

The inspector can not inspect hidden wiring or verify if the number of outlets is per the National Electric Code. A representative number of outlets, switches and fixtures are tested for operation.

Type of Service:	Underground
Service Panel Location:	Interior
Service Voltage:	240 volts
Service Amperage:	150 amps
Over Current Devices:	Breakers
Main Disconnect Location:	Service Panel
Subpanel Locations:	Not Present
Wiring Method:	Conventional Copper
Smoke Detectors Present:	Yes



Comment 19:
Panel at garage .



Figure 19-1



Figure 19-2

(Electrical continued)



Figure 19-3



Comment 20:

Outlet loose at kitchen, repair is recommended by a qualified electrician.

Kitchen outlets are not GFCI protected at sink. All outlets within 6 feet of any plumbing fixture must be GFCI protected. Installation of GFCI outlets or circuit is recommended by a licensed electrician.



Figure 20-1

Heating

The heating system is inspected visually and operated by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of the heating system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Heat Pump
Type of Distribution:	Metal Ducting, Flexible Ducting



Comment 21:

Heat pump manufactured in 2006. All equipment should be evaluated and cleaned by qualified HVAC technician.



Figure 21-1

(Heating continued)



Comment 22:

Heat pump and air handler manufactured in 2006.



Figure 22-1



Figure 22-2



Comment 23:

Return air duct loose at connection to cabinet, air coming in directly from attic. Correction and repair is recommended by a qualified HVAC contractor.

Check valve not connected at air handler in attic. Further evaluation is recommended by a qualified HVAC contractor.

(Heating continued)



Figure 23-1




Figure 23-2

Cooling

The cooling system is inspected by operation of the equipment by normal controls to determine general condition NOT life expectancy. The capacity or adequacy of cooling system is beyond the scope of a home inspection. A licensed HVAC contractor should be consulted if in question.

Energy Source:	Electric
Type of Equipment:	Split System
Type of Distribution:	Metal Ducting, Flexible Ducting

 **Comment 24:**
Heat pump manufactured in 2006. All equipment over 10 years old should be serviced and evaluated by a qualified HVAC technician.

(Cooling continued)



Figure 24-1



Figure 24-2



Comment 25:

Damaged insulation at refrigerant lines. Repair and replacement is recommended by a licensed handyman for HVAC technician.



Figure 25-1

Plumbing

The plumbing system is inspected visually and by operating a representative number of fixtures. Private water and waste systems are beyond the scope of a home inspection.

Waste Pipe Material:	Plastic
Supply Pipe Material:	Plastic
Location of Water Shutoff:	At Meter
Location of Fuel Shutoff:	Not Present
Water Heater Fuel:	Electric
Water Heater Capacity:	50 gal



Comment 26:

Spigot loose at front of house, repair is recommended by a qualified plumbing contractor.



Figure 26-1



Figure 26-2

(Plumbing continued)



Comment 27:

Water heater manufactured in 2009.



Figure 27-1



Figure 27-2

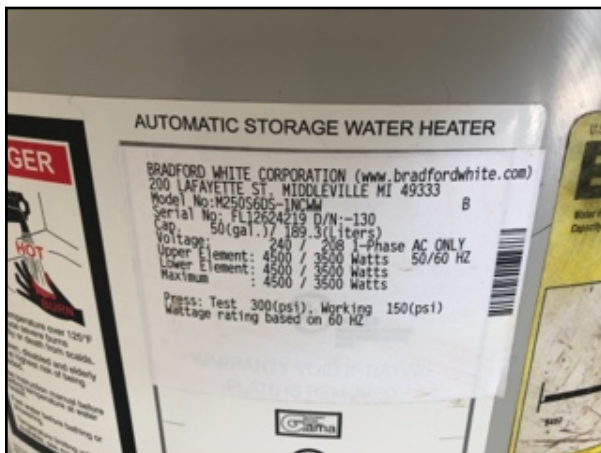


Figure 27-3

(Plumbing continued)



Comment 28:

Disposal frozen, not working. Replacement is recommended that qualified plumber.



Figure 28-1



Comment 29:

Hot and cold water handle this reversed/backwards Handle at right side is loose, screw is missing. Repair and correction is recommended by qualified plumber.



Figure 29-1

Bathrooms

Bathroom #1



Comment 30:
Hallway bathroom.



Figure 30-1

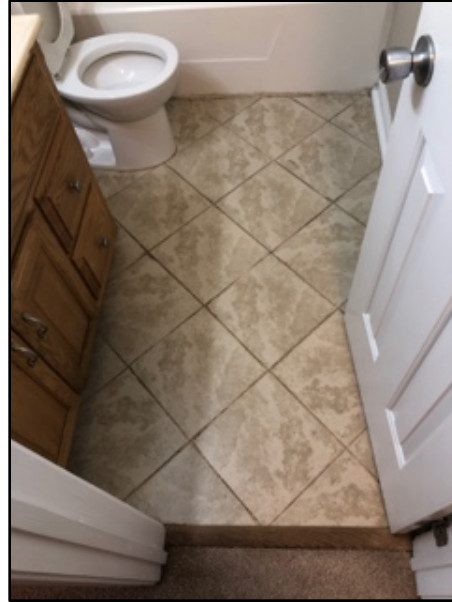


Figure 30-2



Figure 30-3

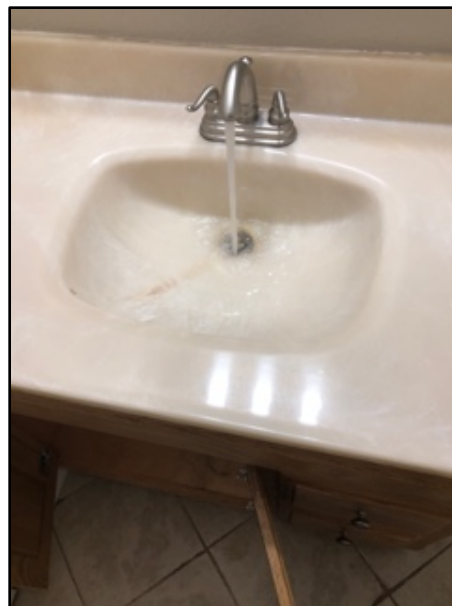


Figure 30-4

(Bathroom #1 continued)



Figure 30-5

Bathroom #2



Comment 31:
Master bath.



Figure 31-1



Figure 31-2

(Bathrooms continued)

Bathroom #3

Laundry



Comment 32:
Laundry pictures .



Figure 32-1



Figure 32-2

(Laundry continued)



Figure 32-3



Figure 32-4



Figure 32-5

Kitchen



Comment 33:
Kitchen pictures.



Figure 33-1



Figure 33-2

Appliances

This is a cursory check only of the specified appliances. The accuracy or operation of timers, temperature or power level controls is beyond the scope of this inspection.

Types Installed:

Dishwasher, Food Disposer, Range, Microwave,
Refrigerator

Cooking Fuel:

Electric

Ventilation Type:

Recirculating

(Appliances continued)



Comment 34:
Appliances .



Figure 34-1



Figure 34-2



Figure 34-3



Figure 34-4

(Appliances continued)



Figure 34-5



Figure 34-6



Comment 35:

Cooktop crack at the top of range, replacement is recommended by a qualified appliance repair contractor.

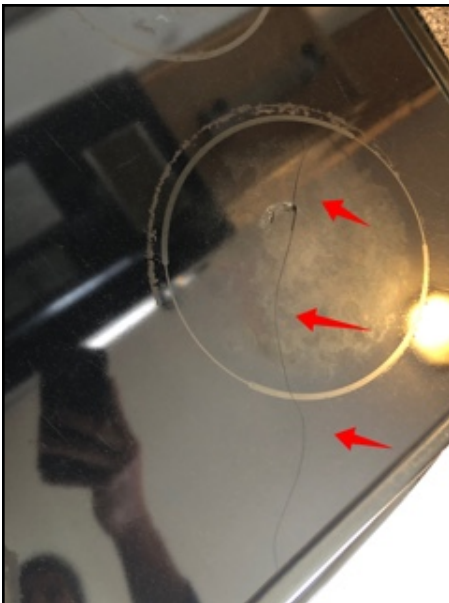


Figure 35-1

(Appliances continued)



Comment 36:

Lightbulb out at surface light, microwave. Replacement is recommended by a qualified handyman.

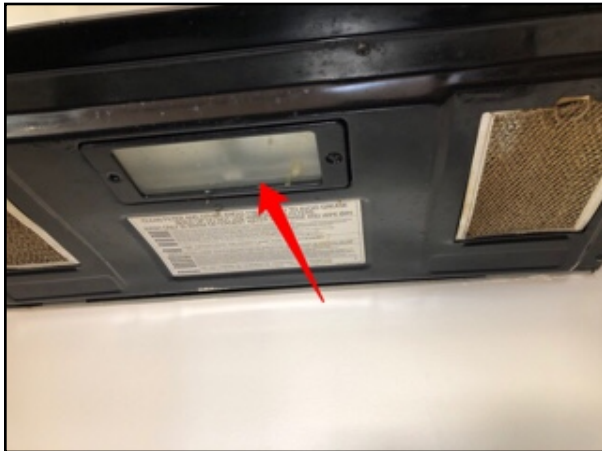


Figure 36-1

Interior

The interior inspection is limited to readily accessible areas that are not concealed by furnishings or stored items. A representative number of windows and doors.

Window Types:	Double Hung
Window Materials:	Vinyl
Entry Door Types:	Hinged
Entry Door Materials:	Metal
Fireplace/Stove Type:	Manufactured

(Interior continued)



Comment 37:
Interior pictures.



Figure 37-1



Figure 37-2



Figure 37-3

(Interior continued)


 **Comment 38:**
Cracks in floor of firebox, rusty frame around firebox. Further evaluation is recommended by a qualified chimney sweep contractor.



Figure 38-1



Figure 38-2




Figure 38-3



Figure 38-4


(Interior continued)

 **Comment 39:**
Hinge loose at top of door, repair is recommended by a qualified handyman.

Master bedroom door.



Figure 39-1

 **Comment 40:**
Damaged glass at bedroom window, window is fogged. Repair is recommended by a qualified window replacement contractor.

(Interior continued)



Figure 40-1

Report Summary

This summary page is not the entire report. The complete report may include additional information of interest or concern to you. It is strongly recommended that you promptly read the complete report. For information regarding the negotiability of any item in this report under the real estate purchase contract, contact your real estate agent or an attorney.

Exterior

1) Siding missing at chimney. Repair is recommended by a qualified vinyl siding contractor.



Figure 1-1

2) Loose vinyl siding, bottom row, front & back of house, repair is recommended by a qualified vinyl siding contractor.

(Report Summary continued)



Figure 3-1



Figure 3-2

3) Damaged wood trim at front of house, gable vent. Repair is recommended by a qualified handyman



Figure 4-1

4) Damaged screen at front door. Replacement is recommended by a qualified handyman.

(Report Summary continued)



Figure 5-1

5) Damaged vinyl siding at left side of garage door, replacement is recommended by a qualified vinyl siding contractor.



Figure 6-1

6) Damage to gate at left side of house. Repair is recommended that a qualified handyman.

(Report Summary continued)



Figure 7-1

7) Dryer vent clogged, cleaning and vacuuming is recommended by a qualified handyman.



Figure 8-1

8) Loose fence panels at back of property, repair is recommended by a qualified handyman.

(Report Summary continued)



Figure 9-1

9) Shed doors do not shut properly here. Repair is recommended by a qualified handyman.



Figure 11-1

10) Damaged window screens at front & back of house, repair is recommended by a qualified handyman.

(Report Summary continued)



Figure 12-1

11) Gutters not installed on house, installation of gutters at left and right side is recommended by a qualified gutter installer.



Figure 13-1

(Report Summary continued)

Garage

12) Damage drywall at garage, repair/replacement is recommended by a qualified drywall contractor.



Figure 15-1

Roofing

13) Plastic lens covering skylight is cracked, loft skylight. Replacement is recommended by a qualified roofing contractor.

Small crack in skylight, middle of room of living room. Repair is recommended by a qualified roofing contractor.

(Report Summary continued)



Figure 17-1



Figure 17-2

Structure: Attic

14) Missing insulation at interior walls facing attic. Replacement of missing insulation is recommended by a qualified insulation contractor.

Pest feces at attic. Pest treatment is recommended by a qualified termite and pest contractor.



Figure 18-1

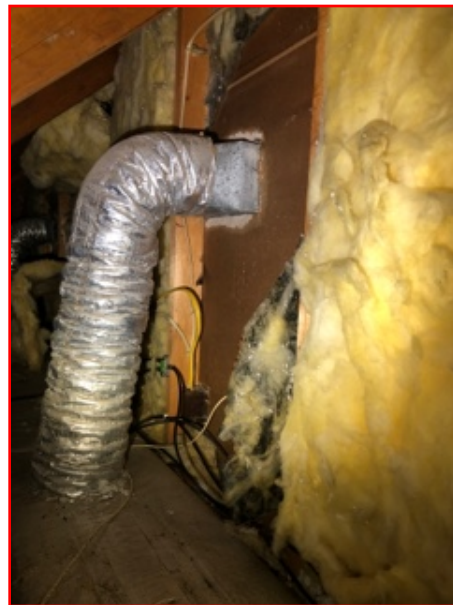


Figure 18-2

(Report Summary continued)



Figure 18-3



Figure 18-4



Figure 18-5



Figure 18-6

(Report Summary continued)

Electrical

15) Outlet loose at kitchen, repair is recommended by a qualified electrician.

Kitchen outlets are not GFCI protected at sink. All outlets within 6 feet of any plumbing fixture must be GFCI protected. Installation of GFCI outlets or circuit is recommended by a licensed electrician.



Figure 20-1

Heating

16) Heat pump manufactured in 2006. All equipment should be evaluated and cleaned by qualified HVAC technician.

(Report Summary continued)



Figure 21-1

17) Return air duct loose at connection to cabinet, air coming in directly from attic. Correction and repair is recommended by a qualified HVAC contractor.

Check valve not connected at air handler in attic. Further evaluation is recommended by a qualified HVAC contractor.



Figure 23-1



Figure 23-2

(Report Summary continued)

Cooling

18) Heat pump manufactured in 2006. All equipment over 10 years old should be serviced and evaluated by a qualified HVAC technician.



Figure 24-1



Figure 24-2

19) Damaged insulation at refrigerant lines. Repair and replacement is recommended by a licensed handyman for HVAC technician.



Figure 25-1

(Report Summary continued)

Plumbing

20) Spigot loose at front of house, repair is recommended by a qualified plumbing contractor.



Figure 26-1



Figure 26-2

21) Disposal frozen, not working. Replacement is recommended that qualified plumber.



Figure 28-1

22) Hot and cold water handle this reversed/backwards Handle at right side is loose, screw is missing. Repair and correction is recommended by qualified plumber.

(Report Summary continued)



Figure 29-1

Appliances

23) Cooktop crack at the top of range, replacement is recommended by a qualified appliance repair contractor.

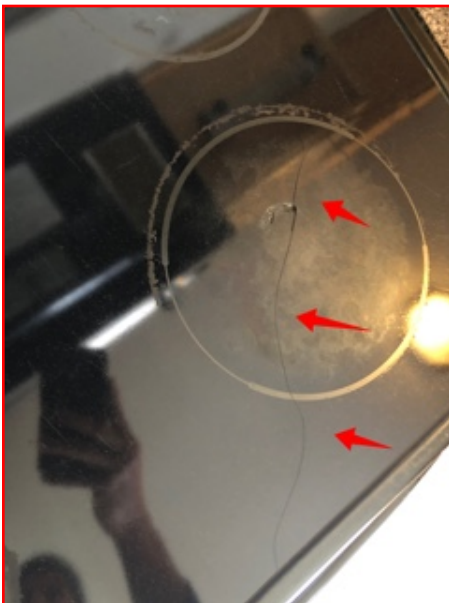


Figure 35-1

24) Lightbulb out at surface light, microwave. Replacement is recommended by a qualified handyman.

(Report Summary continued)



Figure 36-1

Interior

25) Cracks in floor of firebox, rusty frame around firebox. Further evaluation is recommended by a qualified chimney sweep contractor.



Figure 38-1



Figure 38-2

(Report Summary continued)



Figure 38-3



Figure 38-4

26) Hinge loose at top of door, repair is recommended by a qualified handyman.

Master bedroom door.



Figure 39-1

27) Damaged glass at bedroom window, window is fogged. Repair is recommended by a qualified window replacement contractor.

(Report Summary continued)



Figure 40-1